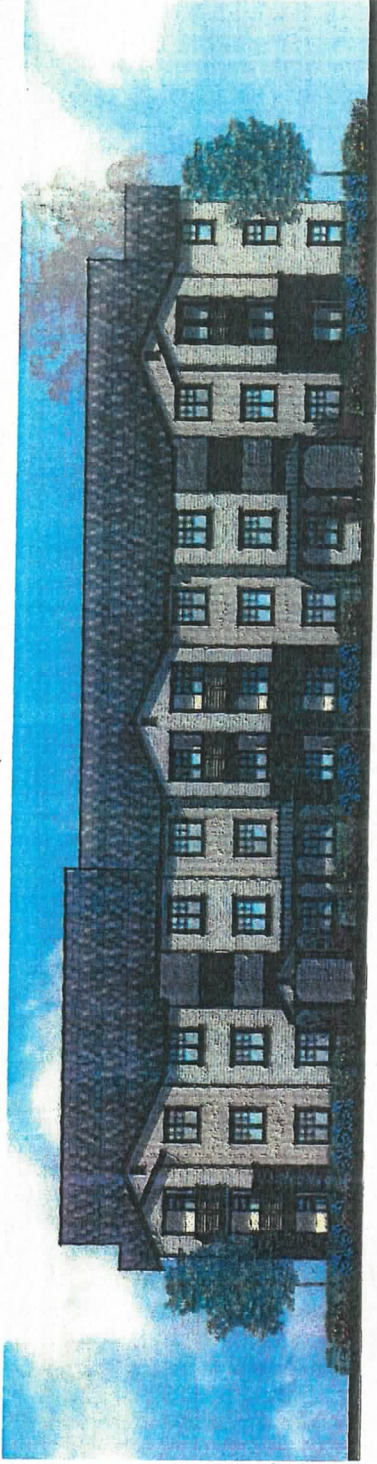


THE VILLAGE AT PORTER RANCH

PORTER RANCH DRIVE AND RINALDI STREET

LOS ANGELES, CA 91326

ENTITLEMENT PACKAGE



DIR 2016-1555

PROJECT TEAM

APPLICANT/DEVELOPER:

SHAPELL PROPERTIES, INC.
 8383 WILSHIRE BLVD.,
 SUITE #700
 BEVERLY HILLS, CA 90211
 TEL: (323) 988-7590
 ATTN: DOUG GRIFFITH

CIVIL:

KIMLEY-HORN
 765 THE CITY DRIVE SOUTH
 SUITE #200
 ORANGE, CA 92668
 TEL: (714) 939-1030
 ATTN: JASON MARECHAL

ARCHITECT:

ARCHITECTS ORANGE
 144 NORTH ORANGE STREET
 ORANGE, CA 92666
 TEL: (714) 639-9860
 ATTN: SERAFIN MARANAN

LANDSCAPE:

L.A. GROUP INC.
 24103 VENTURA BLVD
 SUITE #201
 CALABASAS, CA 91302
 TEL: (818) 251-9718
 ATTN: TYLER GOLD

SHEET INDEX

NO.	DESCRIPTION	DATE
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 URBAN No. DIR-2016-1555-DIG-SPF

A-000

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COVER SHEET

ARCHITECTS ORANGE
 144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92666 (714) 639-9860

THE VILLAGE AT PORTER RANCH LOS ANGELES, CA



SHAPELL PROPERTIES, INC.
 6880 WILSHIRE BLVD., SUITE 700 BEVERLY HILLS, CA 90211

SITE SUMMARY

PROJECT SUMMARY

Table with project data including address (11401 N. Pover Beach Drive, Los Angeles, CA 91325), zoning (C4-2D), and proposed density (24 units/acre).

BUILDING UNIT MIX

Table showing unit mix by type (Type 1-8), room count (A-H), and percentage of total units.

LEASEABLE UNIT SQ. FT.

Table showing leaseable unit square footage by type (Type 1-8) and total (220,221 sq. ft.).

TOTAL BUILDING FOOTPRINT SQ. FT.

Table showing total building footprint square feet by unit type and total.

MAXIMUM FLOOR AREA RATIO NOT TO EXCEED 1.75 TIMES THE LOT AREA

PARKING SUMMARY

BIKE PARKING SUMMARY

Table showing parking requirements for various unit types (Type 1-8).

Table showing bicycle parking requirements (200 units required, 27 provided).

PARKING SUMMARY

Table showing parking summary by unit type and total.

OPEN SPACE REQUIRED

Table showing open space requirements by unit type and total.

COMMON AREA OPEN SPACE PROVIDED

Table showing common area open space provided by unit type.

COMMON OPEN SPACE MUST BE 400 SQ. FT. PER UNIT... LESS THAN 15' IN ANY HORIZONTAL DIMENSION...

THE VILLAGE AT PORTER RANCH LOS ANGELES, CA

SHAPELL PROPERTIES 8383 WILSHIRE BLVD., SUITE 700 BEVERLY HILLS, CA 90211

SHAPELL PROPERTIES, INC. 144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92668 (714) 835-8880

SHAPELL PROPERTIES ARCHITECTS ORANGE

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A-001

05-05-2016

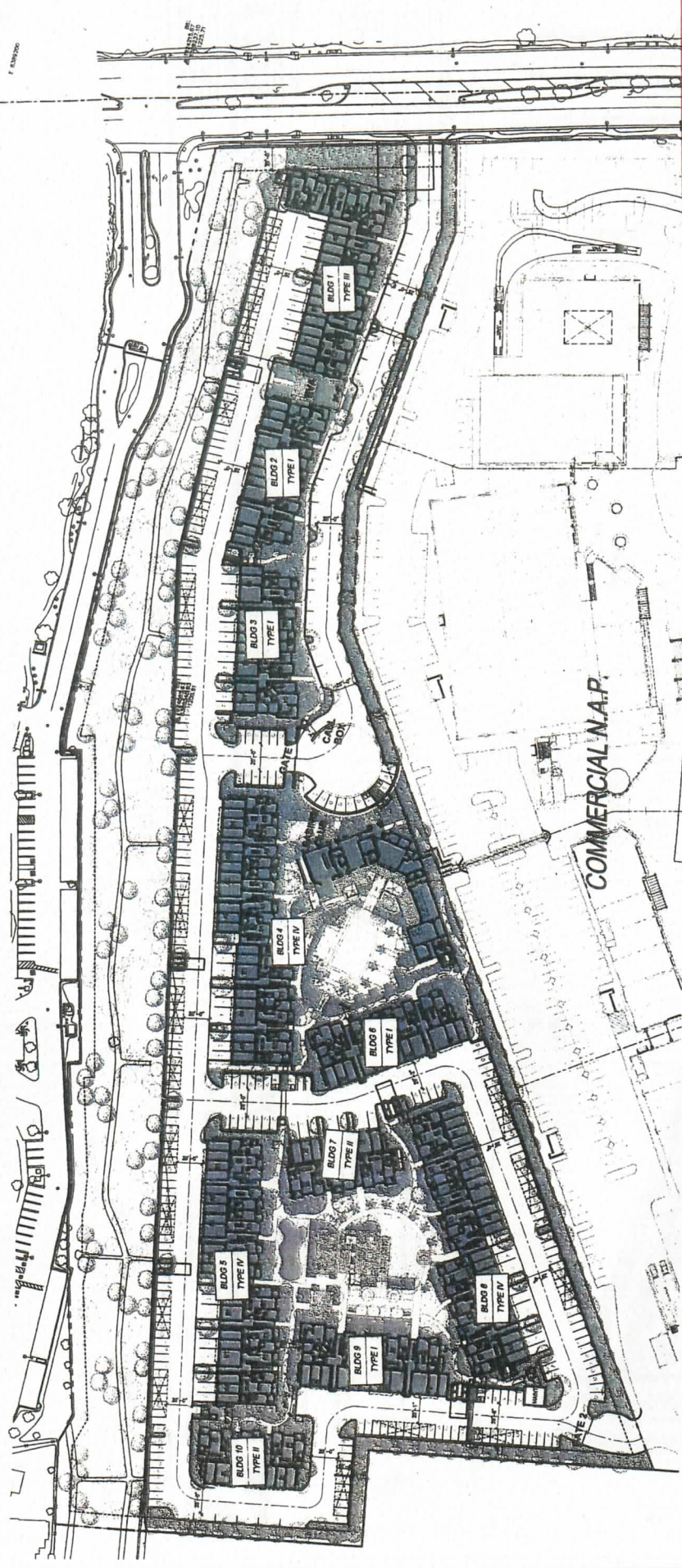


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 No. Dwg. 2016-1555-RA-SP
 ORIGINAL CONTRACT

BUILDING UNIT MIX

TYPE	STORIES	AREA (SQ FT)	UNIT COUNT	PERCENTAGE
TYPE 1	4	10,000	100	10%
TYPE 2	4	10,000	100	10%
TYPE 3	4	10,000	100	10%
TYPE 4	4	10,000	100	10%
TYPE 5	4	10,000	100	10%
TYPE 6	4	10,000	100	10%
TYPE 7	4	10,000	100	10%
TYPE 8	4	10,000	100	10%
TYPE 9	4	10,000	100	10%
TYPE 10	4	10,000	100	10%
TOTAL			1,000	100%

PARKING SUMMARY TOTAL REQUIRED & PROVIDED

TYPE	UNITS	PERCENTAGE
TOTAL UNITS	1,000	100%
TOTAL UNITS PROVIDED	1,000	100%
TOTAL UNITS REQUIRED	1,000	100%

PARKING SUMMARY TOTAL REQUIRED & PROVIDED

TYPE	UNITS	PERCENTAGE
TOTAL UNITS	1,000	100%
TOTAL UNITS PROVIDED	1,000	100%
TOTAL UNITS REQUIRED	1,000	100%

PARKING SUMMARY TOTAL REQUIRED & PROVIDED

TYPE	UNITS	PERCENTAGE
TOTAL UNITS	1,000	100%
TOTAL UNITS PROVIDED	1,000	100%
TOTAL UNITS REQUIRED	1,000	100%

BICYCLE PARKING SUMMARY TOTAL REQUIRED & PROVIDED

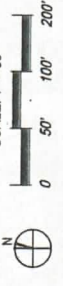
TYPE	UNITS	PERCENTAGE
TOTAL UNITS	1,000	100%
TOTAL UNITS PROVIDED	1,000	100%
TOTAL UNITS REQUIRED	1,000	100%

PARKING LEGEND

P = OPEN RESIDENTIAL PARKING
 CP = RESIDENTIAL COVERED CARPORT PARKING
 T = TANDEM PARKING
 G = GUEST PARKING
 PL = COMPACT GUEST PARALLEL PARKING

A-101

SCALE: 1" = 50'



CONCEPT SITE PLAN

LOS ANGELES, CA

THE VILLAGE AT PORTER RANCH



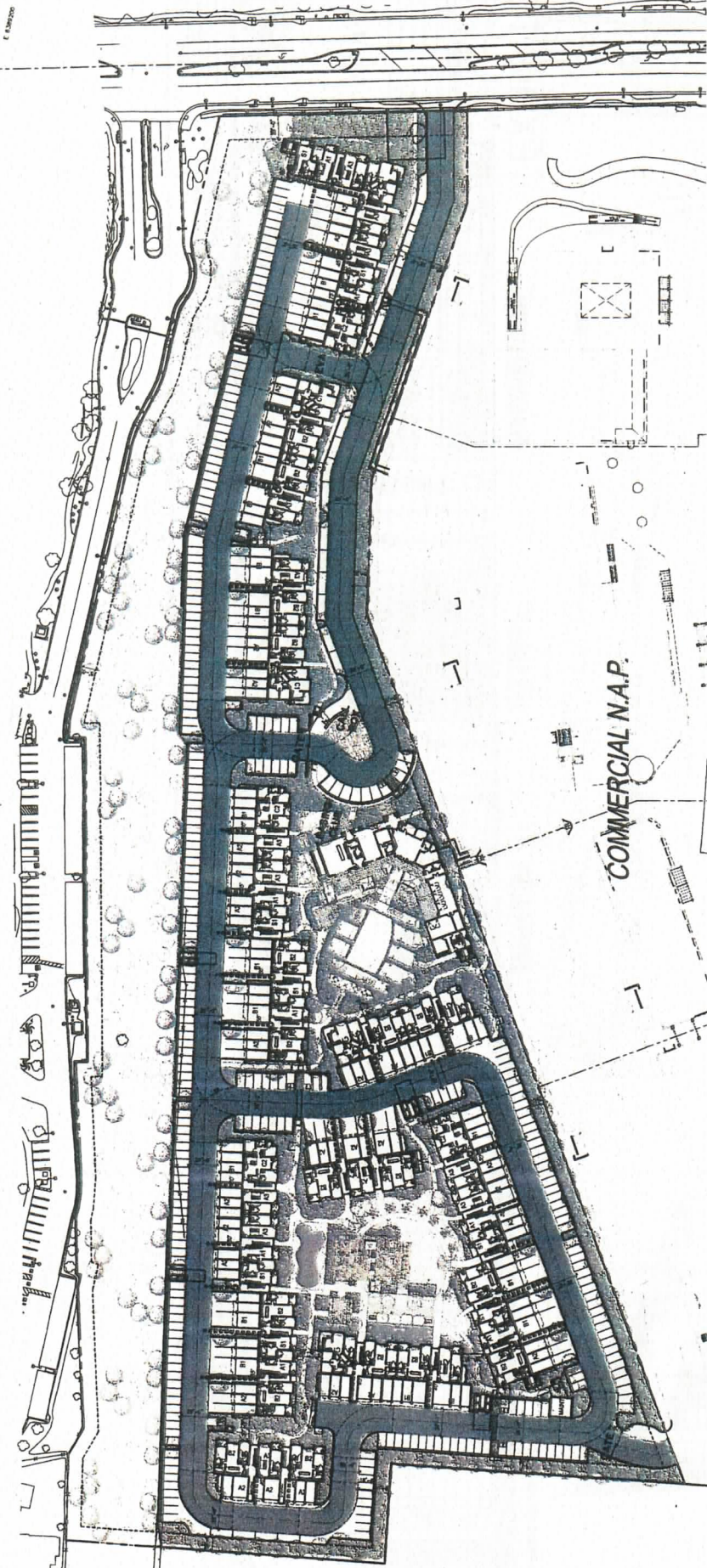
SHAPPELL PROPERTIES, INC.
 8383 WILSHIRE BLVD., SUITE 700 BEVERLY HILLS, CA 90211

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 141 NORTH ORANGE ST., ORANGE, CALIFORNIA 92668 (714) 539-8800

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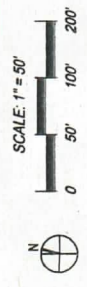
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CONCEPTUAL FIRE ACCESS PLAN

LOS ANGELES, CA

THE VILLAGE AT PORTER RANCH

SHAPELL PROPERTIES, INC.
 8383 WILSHIRE BLVD., SUITE 700 BEVERLY HILLS, CA 90211

ARCHITECTS ORANGE
 141 NORTH ORANGE ST., ORANGE, CALIFORNIA 92668 (714) 536-8888

FIRE ACCESS LEGEND

	BUILDING NUMBER
	FIRE TRUCK TURN RADIUS
	150' FIRE HOSE LENGTH TO UNIT ENTRY
	PROPERTY LINE
	SETBACK LINE
	CLEAR FIRE LANE/ FIRE ACCESS



SHAPELL PROPERTIES

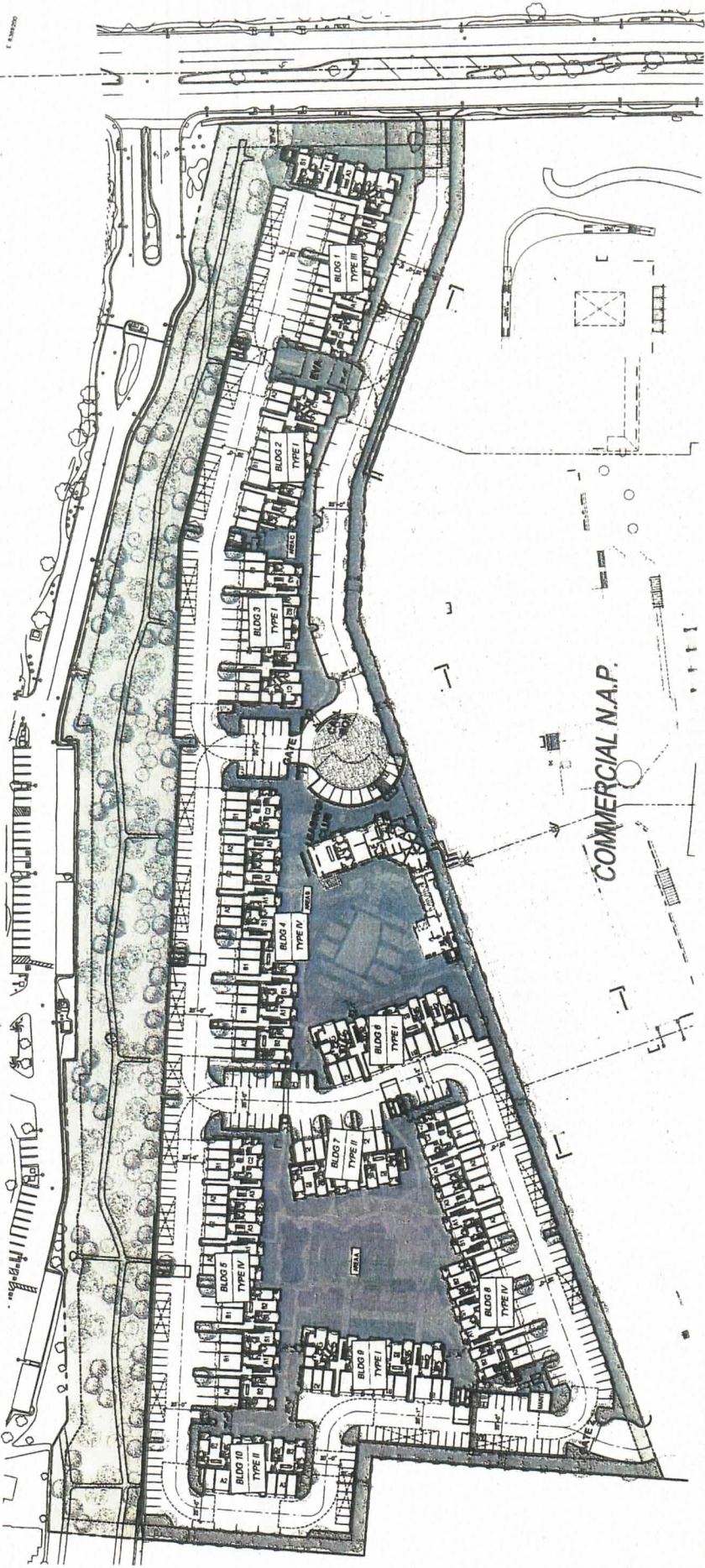


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PRIVATE AREA OPEN SPACE PROVIDED

UNIT TYPE	QTY	ACTUAL AMT/ 100 SQ. FT.	TOTAL SQ. FT.
BLDG 1	22	87	1,914
BLDG 2	24	80	1,920
BLDG 3	28	70	1,960
BLDG 4	45	88	3,960
BLDG 5	24	70	1,680
BLDG 6	12	120	1,440
BLDG 7	12	120	1,440
BLDG 8	12	120	1,440
BLDG 9	12	120	1,440
BLDG 10	12	120	1,440
TOTAL	208	82	20,280

PRIVATE OPEN SPACE MUST CONTAIN MINIMUM 50 SQ. FT. PER DWELLING UNIT, AND HAVE NO DIMENSION LESS THAN 6'-0".
 - SEC 12.21.16(B)

CONTIGUOUS VISUAL OPEN SPACE PROVIDED

AREA	AREA SQ. FT.	AD
A	102,845	3.74
B	102,845	3.74
TOTAL	205,690	7.48

FOR LANDSCAPE PERCENTAGE INFORMATION PLEASE REFER TO LANDSCAPE PLANS

COMMON AREA OPEN SPACE PROVIDED

AREA	AREA SQ. FT.	AD
A	44,417	0.56
B	31,540	0.39
C	17,106	0.29
TOTAL	93,063	1.24

COMMON OPEN SPACE MUST BE 100 SQ. FT. MINIMUM WITH NO HORIZONTAL DIMENSION LESS THAN 15'-0". CAN INCLUDE RECREATIONAL AMENITIES SUCH AS SWIMMING POOLS, SPAS, TABLES, BENCHES, CHILDREN'S PLAY AREAS, PLAY AREAS, BBQ'S, AND SITTING AREAS.
 - SEC 12.21.16(B)

OPEN SPACE REQUIRED

TYPE	QTY	UNIT	TOTAL SQ. FT.
15'-18' COMMON OPEN SPACE	147	147	14,700
CONTIGUOUS VISUAL OPEN SPACE	125	92	11,500
BUILDING NUMBER	175	27	4,725
TOTAL	397	266	31,925

OPEN SPACE LEGEND

- 15'-18' COMMON OPEN SPACE
- CONTIGUOUS VISUAL OPEN SPACE
- BUILDING NUMBER
- PROPERTY LINE
- SETBACK LINE

THE VILLAGE AT PORTER RANCH
 LOS ANGELES, CA

SHAPPELL PROPERTIES, INC.
 8380 WILSHIRE BLVD., SUITE 700 BEVERLY HILLS, CA 90211





FRONT ELEVATION

PERMITS SUBMITTAL

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A-201

06-10-2016



TYPE I BUILDING - CONCEPTUAL ELEVATION
LOS ANGELES, CA

SCALE: 1/8" = 1'-0"

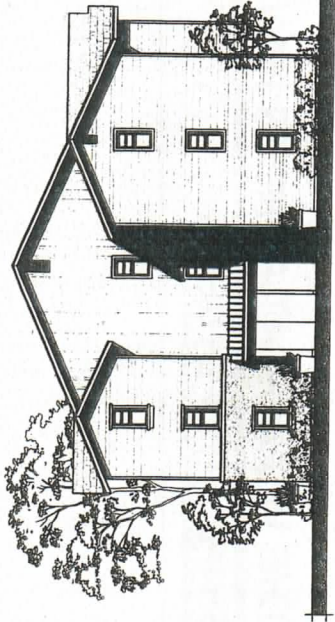
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SHAPELL PROPERTIES, INC.

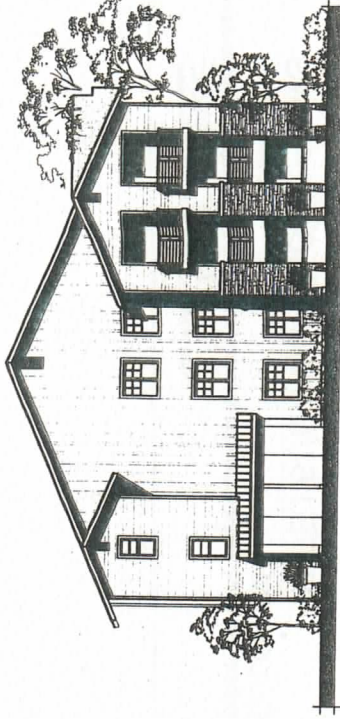
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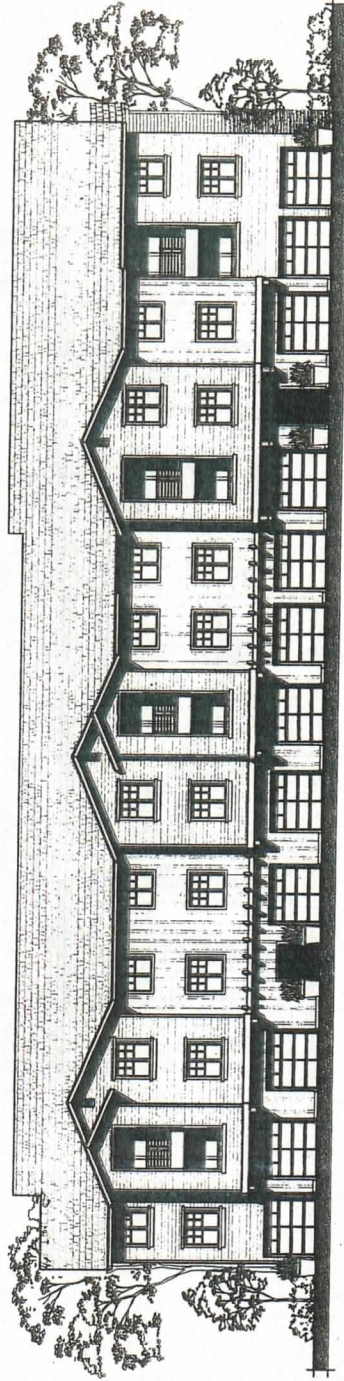
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RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION

TYPE I BUILDING - CONCEPTUAL ELEVATION
LOS ANGELES, CA

SCALE: 1/8" = 1'-0"



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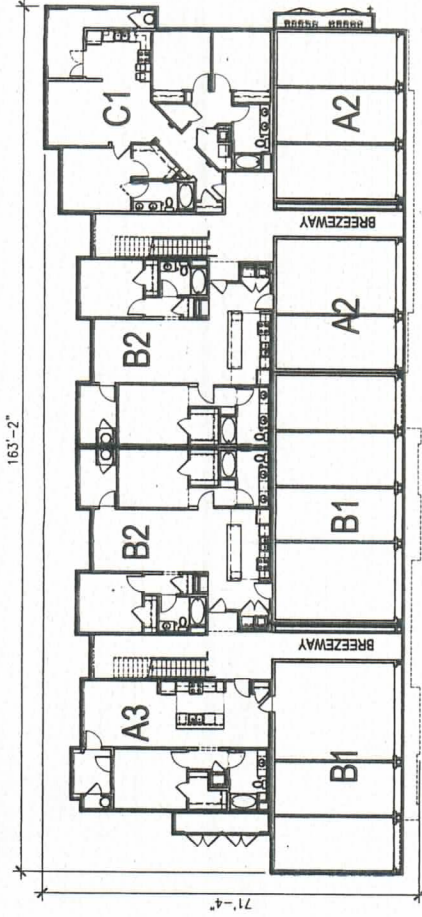
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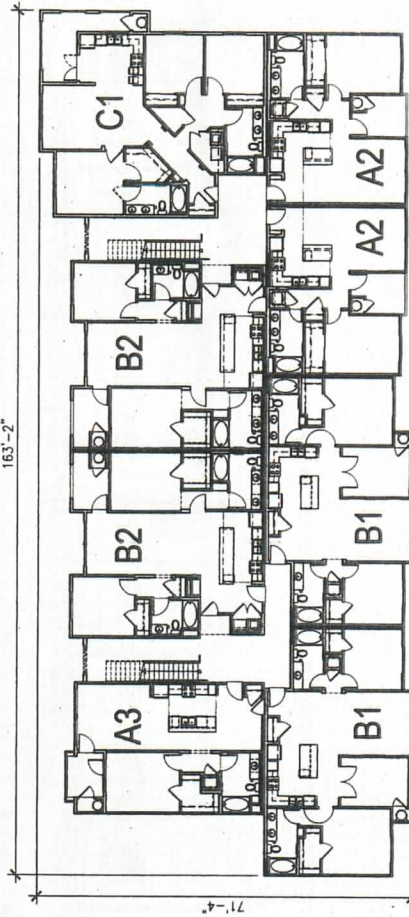


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1st FLOOR PLAN



2nd & 3rd FLOOR PLAN

TYPE I BUILDING - FLOOR PLANS
SCALE: 3/32" = 1'-0"

THE VILLAGE AT PORTER RANCH
LOS ANGELES, CA



SHAPELL PROPERTIES, INC.
8888 WILSHIRE BLVD., SUITE 700 BEVERLY HILLS, CA 90211

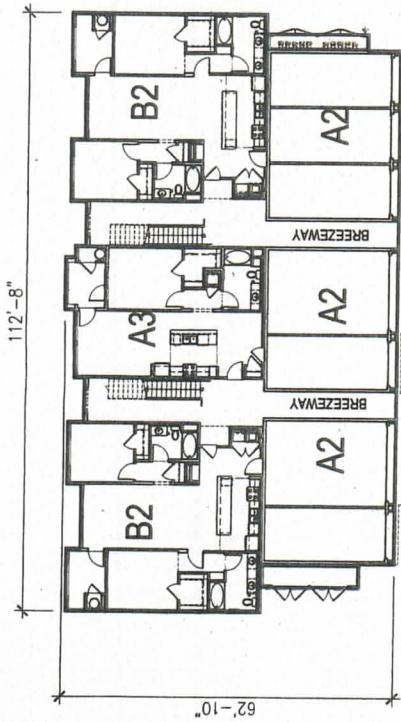
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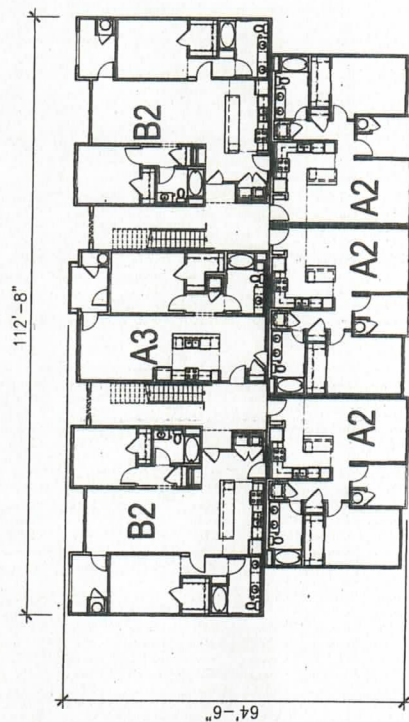
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1st FLOOR PLAN



2nd & 3rd FLOOR PLAN

TYPE II BUILDING - FLOOR PLANS
LOS ANGELES, CA

THE VILLAGE AT PORTER RANCH
SHAPELL PROPERTIES, INC.
6883 WILSHIRE BLVD., SUITE 700 BEVERLY HILLS, CA 90211



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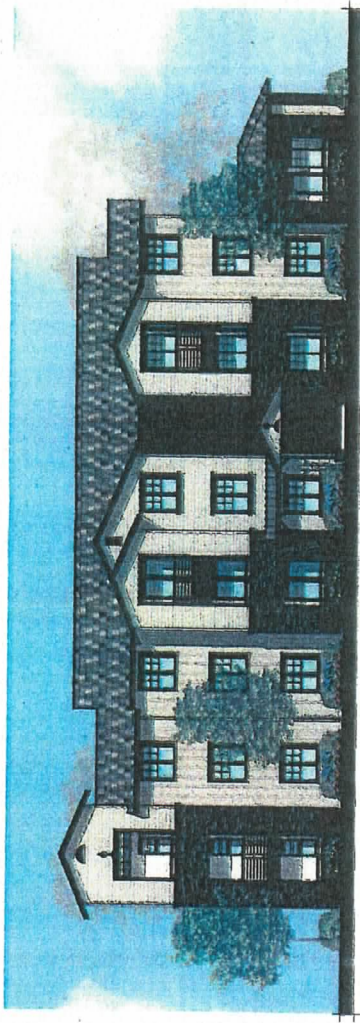
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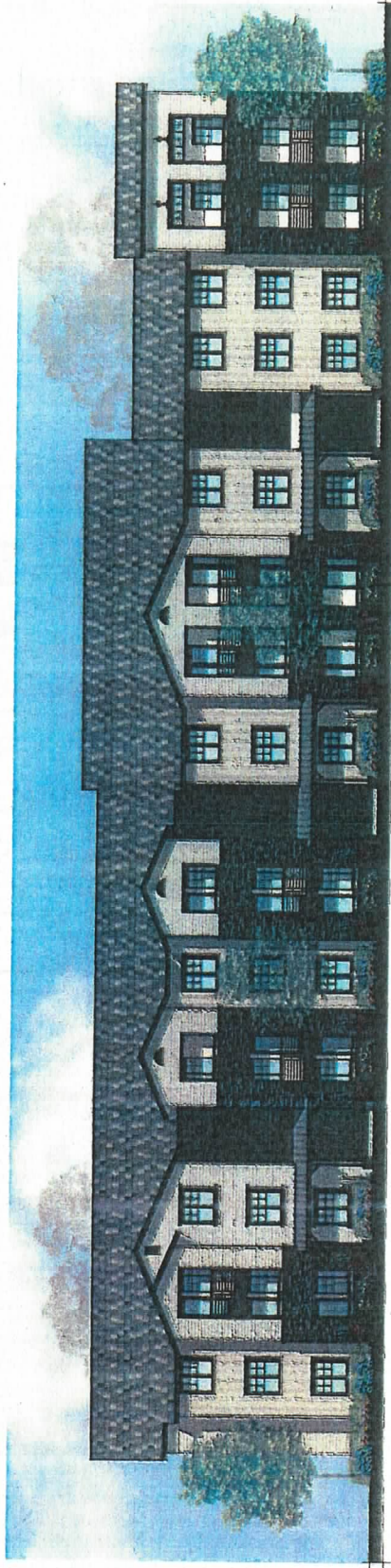
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EAST ELEVATION
PORTER RANCH DRIVE



SOUTH ELEVATION
PRIVATE ENTRY DRIVE

ORIGINAL SUBMITTAL

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THE VILLAGE AT PORTER RANCH

SHAPELL PROPERTIES, INC.

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TYPE III BUILDING - CONCEPTUAL ELEVATION
SCALE: 1/8" = 1'-0"



SHAPELL
PROPERTIES